

Centennial UMC Congregational Meeting

November 3, 2024



Topics for Today

- Updates on Roof Projects (both campuses)
 - Progress
 - Timing
 - Costs
- Address some questions on RV project
- Financial Aspects
- Discussion

SAP Roof Project Status

- Aug 2020: hail storm damaged roof (building closed for Covid)
- Dec 2021: signed agreement with contractor
- 2022: worked with insurance company → denied claim
- Late 2022: filed lawsuit to preserve claim rights
- 2023 – May 2024: repeated attempts at mediation
- May 2024: mediation session held, but unsuccessful
- Summer 2024: gathered 2020 pricing bids; did invasive tests
- Oct 21, 2024: insurance company agreed to appraisal process
- Appraisal panel scheduling in progress
- Late fall 2024: start roof work?



SAP Project Costs

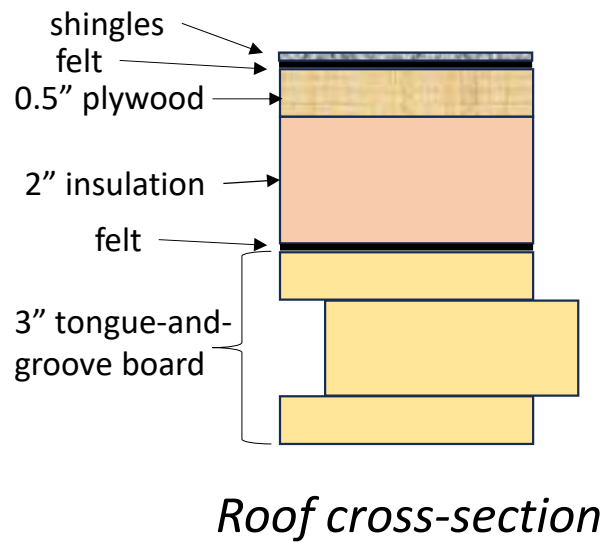
Item	Cost
Sanctuary roof and belltower roof	\$239,500
Clarion vent replacement	\$42,000
Gutters	\$12,000
Flat roof	\$102,500
HVAC repair	\$76,500
Bell tower scaffolding	\$52,500
Gutter scaffolding	\$25,000
Invasive inspection reports	\$5,000
Dumpsters	\$6,500
Interior repair	\$54,500
Interior scaffolding	\$9,500
Total	\$625,500
Insurance-payment-dependent items	\$182,500
Potential total to fund (w/o insurance)	\$443,500

Roseville Roof Project Status

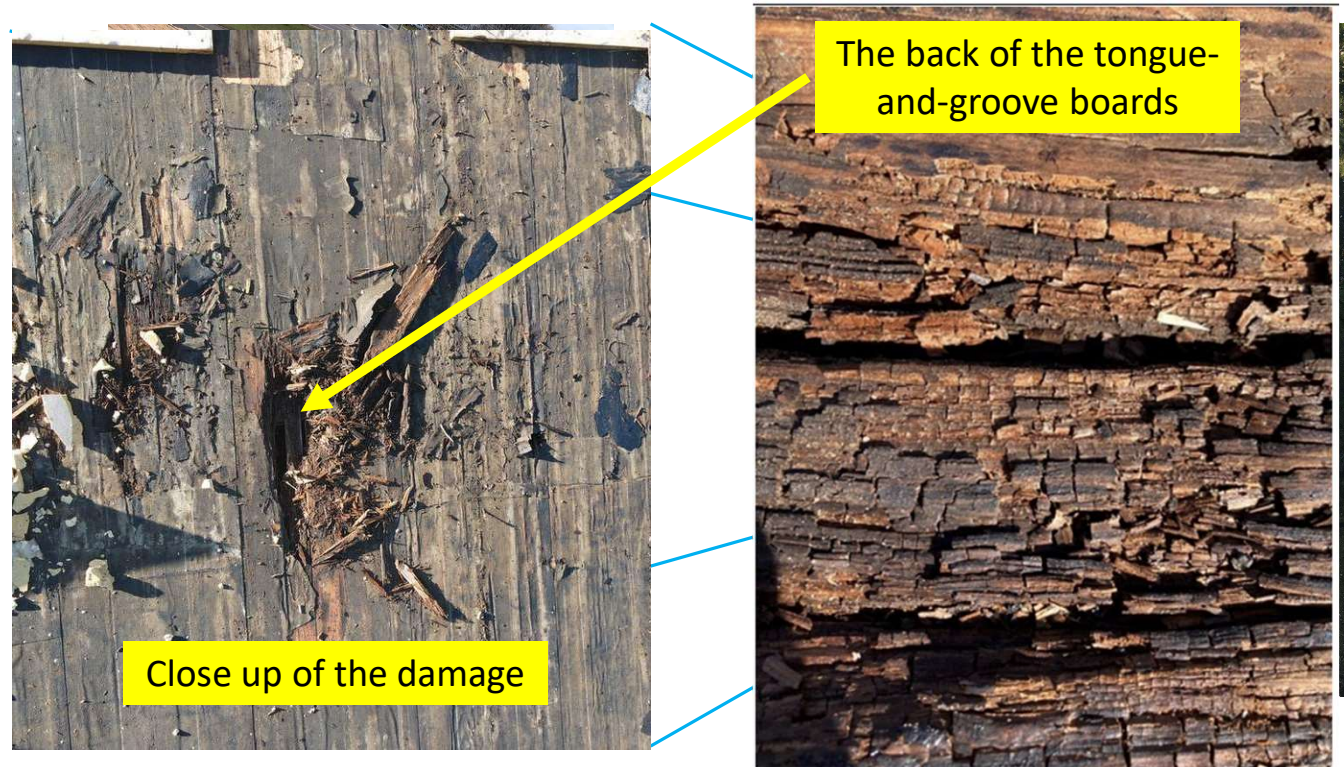
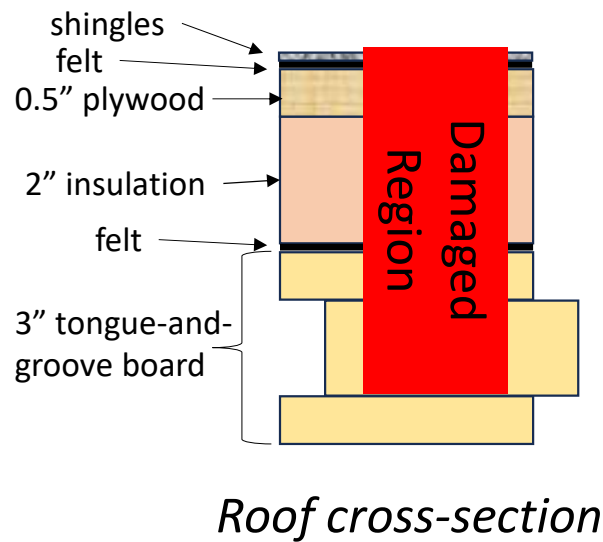
- May 2022: wind storm damaged roof
- 2023: worked with insurance
- Nov 2023: replaced all shingles; discovered extra damage on sanctuary roof; covered with temporary patch
- Nov '23 – Apr '24: previous contractor delays progress
- May 2024: filed lawsuit to preserve claim option past 2-year limit
- Summer 2024: engineering study
- Aug 19, 2024: removed steeple & cross; installed temporary roof
- Fall 2024: contractors settle on final design for repair
- Spring 2025: Install new ceiling/roof boards and finish roof



Background for the RV roof



Background for the RV roof

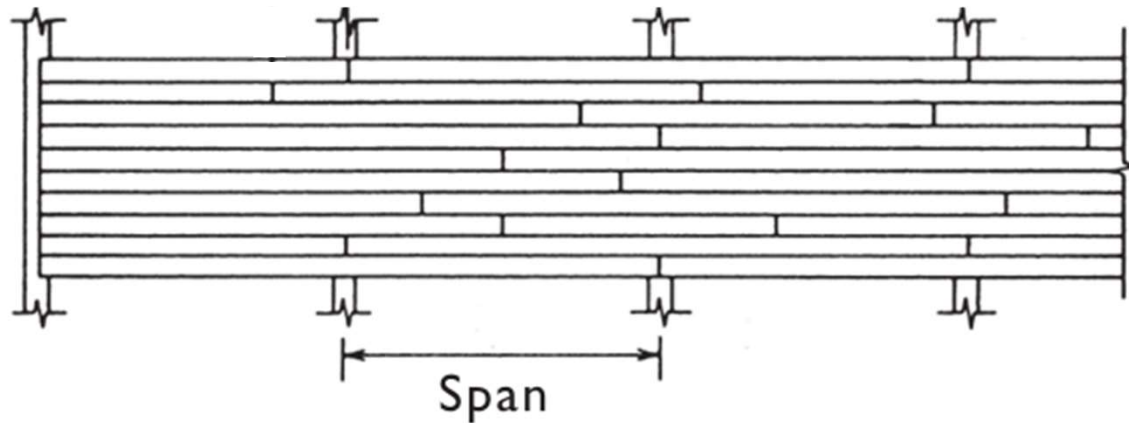


- Damage to the north side of the roof is much worse than it appears from inside the sanctuary

Roseville Project Costs

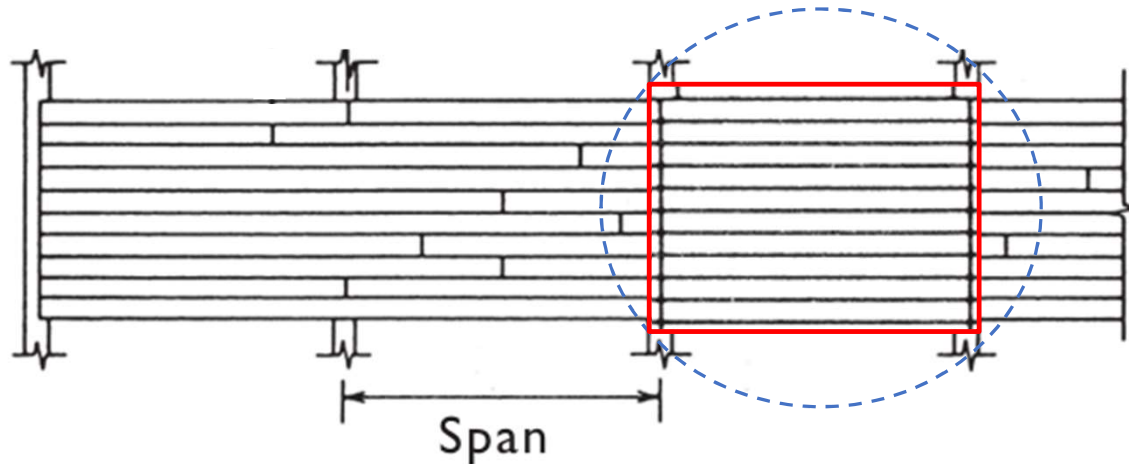
Item	Cost
Wood for ceiling/roof	\$219,500
Install ceiling/roof	\$400,500
Scaffolding for ceiling/roof	\$425,500
First layer of roof materials	\$11,500
Remove/reinstall windows between beams	\$94,000
Remove steeple mounting plates; install roof	\$140,500
Architect/engineer fees	\$39,500
Remove/reinstall speakers & lights	\$64,500
New speaker cabinet	\$12,000
New cross winch system	\$24,500
Shut down/restart organ	\$8,500
Total	\$1,440,500
Insurance-payment-dependent items	\$36,500
Potential total to fund (w/o insurance)	\$1,404,000

Roof board pattern: strengths and weaknesses



- Boards are assembled with random end locations (to distribute the weak points) to make a single, strong piece
- Boards are nailed together, so can't replace some without damaging others

Roof board pattern: strengths and weaknesses

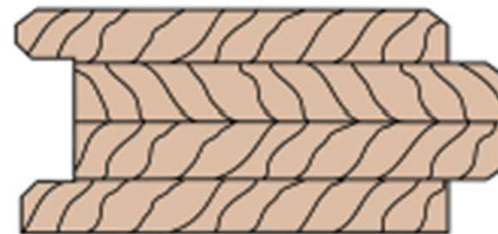


- Boards are assembled with random end locations (to distribute the weak points) to make a single, strong piece
- Boards are nailed together, so can't replace some without damaging others
- Not possible to replace a section and have same strength

Snow & Ice Load Requirements Have Increased Since 1965

- Existing roof has been grandfathered under old code
- If we fix the structural problems on one side of the roof, then the entire side of the roof must be replaced to bring it up to code.
- The south half is not subject to this requirement
- New boards are same size as old boards, but stronger:

Old boards: 3 layers of wood/2 layers of adhesive



New boards: 4 layers of wood/3 layers of adhesive

Some Questions Already Asked

Who made the decision to replace the entire north side of the roof?

- A: City of Roseville required a structural analysis when the damage was discovered. The engineering firm, architect, manufacturer & distributor of the custom boards, and installing contractors all determined that replacement of the entire north ceiling/roof is the correct solution.

Why can't we just replace the damaged portion and then add additional support/reinforcement to the rest to bring it up to code?

- A: This wouldn't meet code in the replaced area. The extra reinforcement idea isn't straightforward and was rejected by the group of experts listed above.

More Questions

How do we know the south side is okay?

- A: Part of the south side plywood and insulation was removed during the Fall 2023 roof project → board outer surface was okay. This was reconfirmed in the areas exposed during the steeple removal.

Why can't we use a simpler/cheaper solution?

- A: Other options have been considered (structured insulated panels, truss systems, etc.) with paneling on interior. All of these solutions have problems with 14' span and/or are heavier than the tongue-and-groove boards and exceed the capacity of the roof beams. Would have required additional support/butresses on exterior of building.

Potential Total Cost (Without Insurance)

Campus	Cost
Roseville	\$1,404,000
SAP	\$443,500
Subtotal	\$1,847,500
Contingency (10%)	\$184,750
Total	\$2,032,250

Roof Repair Cash Flow Estimates

- Potential repair cost \$2,000,000
- Potential Sources for payment
 - Capital reserve gift \$200,000
 - Insurance Payments \$450,000 – \$600,000
 - Capital Campaign ?????
- Deficit goal \$500,000

Required Loan

- Process for loan has started with our bank – Community Bank
- Bridge loan during the repairs, insurance negotiation, and capital campaign.
- Convert to a monthly payment loan for ten years
- Final principal hopefully less than \$500,000

Discussion

