

# Centennial UMC Congregational Meeting

November 3, 2024



# Topics for Today

- Updates on Roof Projects (both campuses)
  - Progress
  - Timing
  - Costs
- Address some questions on RV project
- Financial Aspects
- Discussion

# SAP Roof Project Status

- Aug 2020: hail storm damaged roof (building closed for Covid)
- Dec 2021: signed agreement with contractor
- 2022: worked with insurance company → denied claim
- Late 2022: filed lawsuit to preserve claim rights
- 2023 – May 2024: repeated attempts at mediation
- May 2024: mediation session held, but unsuccessful
- Summer 2024: gathered 2020 pricing bids; did invasive tests
- Oct 21, 2024: insurance company agreed to appraisal process
- Appraisal panel scheduling in progress
- Late fall 2024: start roof work?



# SAP Project Costs

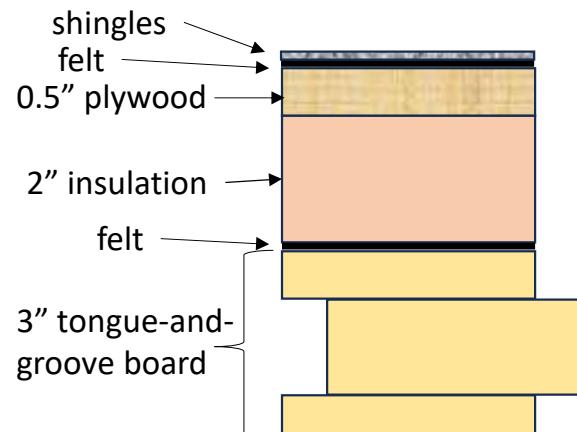
Item	Cost
Sanctuary roof and belltower roof	\$239,500
Clarion vent replacement	\$42,000
Gutters	\$12,000
Flat roof	\$102,500
HVAC repair	\$76,500
Bell tower scaffolding	\$52,500
Gutter scaffolding	\$25,000
Invasive inspection reports	\$5,000
Dumpsters	\$6,500
Interior repair	\$54,500
Interior scaffolding	\$9,500
<b>Total</b>	<b>\$625,500</b>
Insurance-payment-dependent items	\$182,500
<b>Potential total to fund (w/o insurance)</b>	<b>\$443,500</b>

# Roseville Roof Project Status

- May 2022: wind storm damaged roof
- 2023: worked with insurance
- Nov 2023: replaced all shingles; discovered extra damage on sanctuary roof; covered with temporary patch
- Nov '23 – Apr '24: previous contractor delays progress
- May 2024: filed lawsuit to preserve claim option past 2-year limit
- Summer 2024: engineering study
- Aug 19, 2024: removed steeple & cross; installed temporary roof
- Fall 2024: contractors settle on final design for repair
- Spring 2025: Install new ceiling/roof boards and finish roof



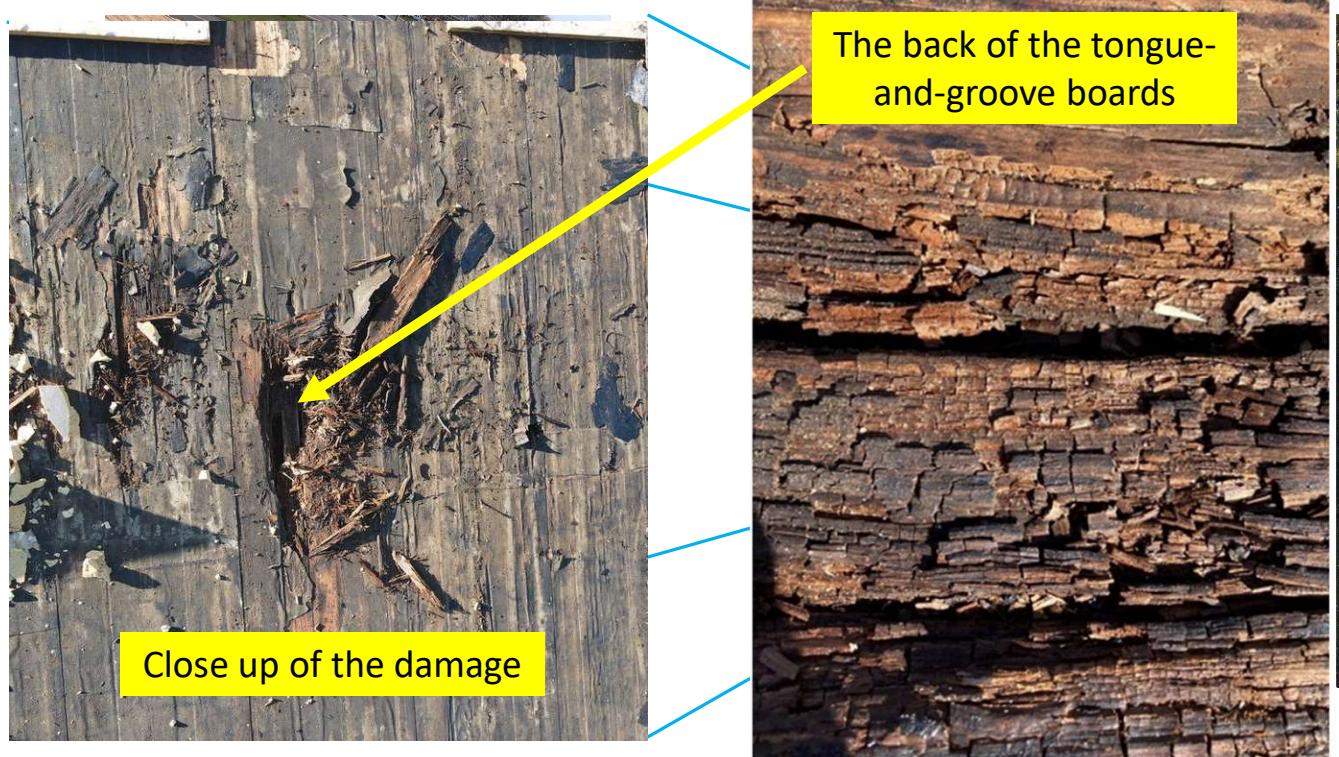
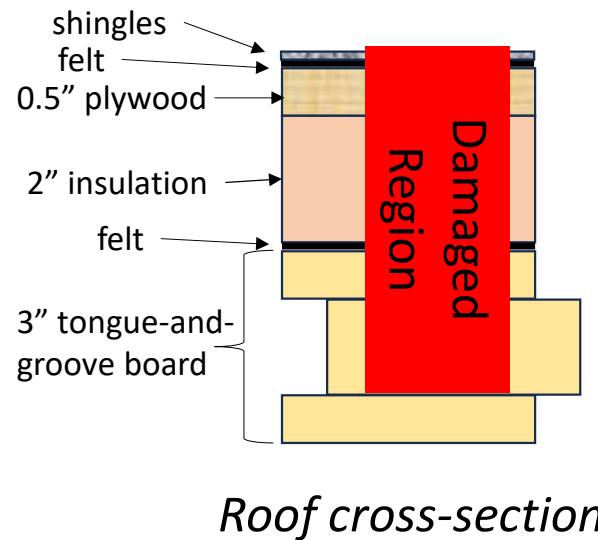
# Background for the RV roof



*Roof cross-section*



# Background for the RV roof

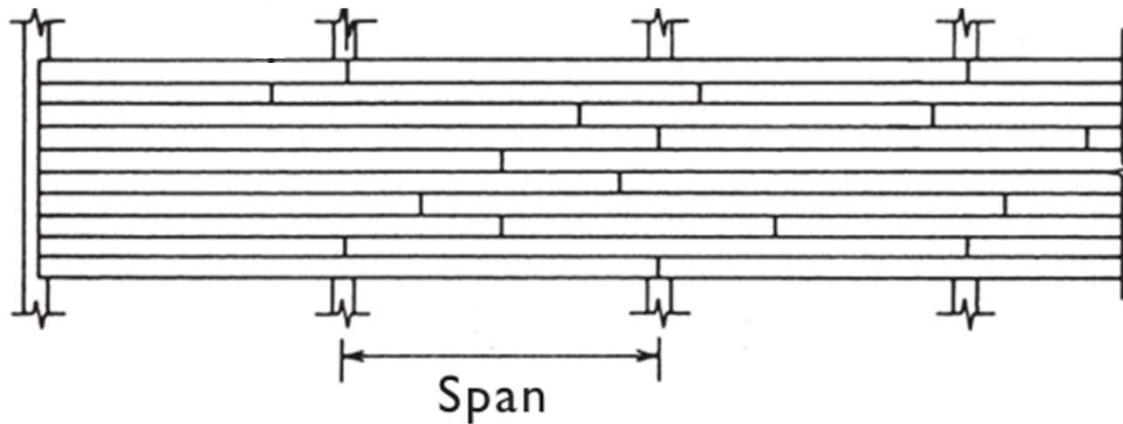


- Damage to the north side of the roof is much worse than it appears from inside the sanctuary

# Roseville Project Costs

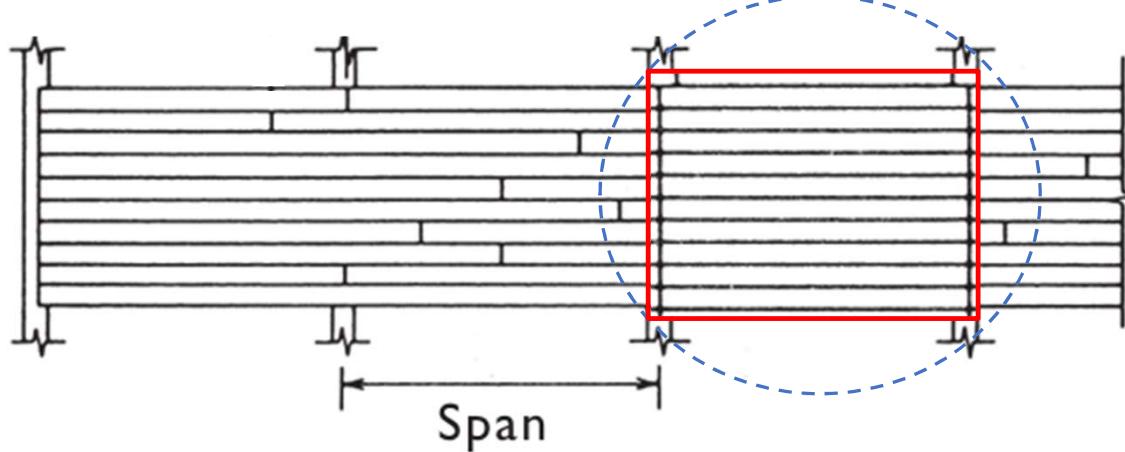
Item	Cost
Wood for ceiling/roof	\$219,500
Install ceiling/roof	\$400,500
Scaffolding for ceiling/roof	\$425,500
First layer of roof materials	\$11,500
Remove/reinstall windows between beams	\$94,000
Remove steeple mounting plates; install roof	\$140,500
Architect/engineer fees	\$39,500
Remove/reinstall speakers & lights	\$64,500
New speaker cabinet	\$12,000
New cross winch system	\$24,500
Shut down/restart organ	\$8,500
<b>Total</b>	<b>\$1,440,500</b>
Insurance-payment-dependent items	\$36,500
<b>Potential total to fund (w/o insurance)</b>	<b>\$1,404,000</b>

# Roof board pattern: strengths and weaknesses



- Boards are assembled with random end locations (to distribute the weak points) to make a single, strong piece
- Boards are nailed together, so can't replace some without damaging others

# Roof board pattern: strengths and weaknesses

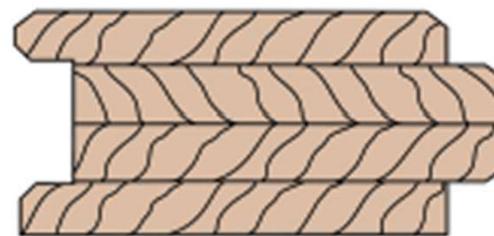


- Boards are assembled with random end locations (to distribute the weak points) to make a single, strong piece
- Boards are nailed together, so can't replace some without damaging others
- Not possible to replace a section and have same strength

# Snow & Ice Load Requirements Have Increased Since 1965

- Existing roof has been grandfathered under old code
- If we fix the structural problems on one side of the roof, then the entire side of the roof must be replaced to bring it up to code.
- The south half is not subject to this requirement
- New boards are same size as old boards, but stronger:

**Old boards:** 3 layers of wood/2 layers of adhesive



**New boards:** 4 layers of wood/3 layers of adhesive

# Some Questions Already Asked

## **Who made the decision to replace the entire north side of the roof?**

- A: City of Roseville required a structural analysis when the damage was discovered. The engineering firm, architect, manufacturer & distributor of the custom boards, and installing contractors all determined that replacement of the entire north ceiling/roof is the correct solution.

## **Why can't we just replace the damaged portion and then add additional support/reinforcement to the rest to bring it up to code?**

- A: This wouldn't meet code in the replaced area. The extra reinforcement idea isn't straightforward and was rejected by the group of experts listed above.

# More Questions

## **How do we know the south side is okay?**

- A: Part of the south side plywood and insulation was removed during the Fall 2023 roof project → board outer surface was okay. This was reconfirmed in the areas exposed during the steeple removal.

## **Why can't we use a simpler/cheaper solution?**

- A: Other options have been considered (structured insulated panels, truss systems, etc.) with paneling on interior. All of these solutions have problems with 14' span and/or are heavier than the tongue-and-groove boards and exceed the capacity of the roof beams. Would have required additional support/buttresses on exterior of building.

# Potential Total Cost (Without Insurance)

Campus	Cost
Roseville	\$1,404,000
SAP	\$443,500
Subtotal	\$1,847,500
Contingency (10%)	\$184,750
<b>Total</b>	<b>\$2,032,250</b>

# **Roof Repair Cash Flow Estimates**

- Potential repair cost \$2,000,000
- Potential Sources for payment
  - Capital reserve gift \$200,000
  - Insurance Payments \$450,000 – \$600,000
  - Capital Campaign ?????
- Deficit goal \$500,000

## **Required Loan**

- Process for loan has started with our bank – Community Bank
- Bridge loan during the repairs, insurance negotiation, and capital campaign.
- Convert to a monthly payment loan for ten years
- Final principal hopefully less than \$500,000

# Discussion

